

RESOLUTION NO. 1950

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLEDAD
AUTHORIZING AND APPROVING THE EXECUTION OF AN
AGREEMENT BY AND BETWEEN THE CITY OF
SOLEDAD, MANUEL LOPEZ AND DEL
MAR CONSTRUCTION COMPANY

BE IT RESOLVED by the City Council of the City of
Soledad that the Mayor, and the City Clerk be, and they are
hereby, authorized and directed for and on behalf of said City
to execute and deliver an agreement with MANUEL LOPEZ and DEL
MAR CONSTRUCTION COMPANY in the form of the document hereunto
attached, marked "Exhibit A", and by reference made a part
hereof.

PASSED AND ADOPTED by the City Council of the City of
Soledad at a regular meeting duly held on the 29th day of
November, 1989, by the following vote:

AYES, and in favor thereof, Councilmembers: Campos,
Holguin, Ledesma, Mayor Pro Tem Untalon, Mayor Ortiz

NOES, Councilmembers: None

ABSENT, Councilmembers: None


MAYOR OF THE CITY OF SOLEDAD

ATTEST:


CITY CLERK OF THE CITY OF SOLEDAD

CONTRACT

THIS AGREEMENT is made by and between the CITY OF SOLEDAD, a municipal corporation of the State of California, hereinafter called "Owner," and MANUEL LOPEZ, an individual doing business as DEL MAR CONSTRUCTION CO., hereinafter called "Contractor."

In consideration of the mutual covenants, conditions and agreements herein set forth, the said parties agree as follows:

1. Project Description. The project consists of the remodeling of an existing building, and the construction of additions to said building and grounds, for use by the City of Soledad as a combined City Hall and Police Station.

2. Contract Documents. Included and incorporated herein by reference are: (a) the project Plans and Specifications, and addenda thereto, as approved by Owner, (b) the Invitation to Bid, (c) the Instructions to Bidders, (d) the General Conditions and all supplements and amendments thereto, including the General Requirements, (e) the Contractor's Proposal dated November 8, 1989, including the amendments to the Contract Documents attached thereto as Exhibits "A" through "E," inclusive, (f) the Contractor's Performance Bond, unless waived by Owner, (g) the Contractor's Payment Bond, unless waived by Owner, (h) the Contractor's Builders Risk All Risk Insurance policy, unless waived by Owner, and (i) the current minimum wage rates as ascertained by the California Director of Industrial Relations, all of which, together with this Contract, comprise the entire agreement between the parties hereto and supersede all prior negotiations, representations, and oral or written agreements with respect to the project.

3. Performance of Work. Contractor agrees to furnish all labor, tools, appliances, equipment, plant and transportation, and to do all things necessary and incidental to complete the construction of the project in accordance with the Contract Documents.

4. Commencement and Completion of Work. The date of commencement of work shall be that fixed in a Notice to Proceed to be issued by the Owner. The Contractor shall substantially complete the work within 210 days from the date

"A" —

of commencement, subject to adjustments in the contract time as provided in the Contract Documents.

5. Contract Price. The Contract Price, after excluding Items A, B, C and D set forth in Paragraph IX of the Contractor's Proposal dated November 8, 1989, is the sum of Five Hundred Fifty-eight Thousand Seven Hundred Forty-nine Dollars (\$558,749.00.) In the event Owner elects to include any such excluded item, the cost thereof as shown in said Paragraph IX shall be added to and shall become a part of the Contract Price.

6. Payment. Owner shall pay the Contractor for his performance of the Contract the Contract Price specified in Paragraph 5 above.

7. Progress Payments. Progress payments shall be made to Contractor in accordance with the Progress Payment Schedule attached to the Contractor's Proposal as Exhibit "A" thereto. Said Progress Payment Schedule shall supersede and replace all other provisions in the Contract Documents relating to progress payments to the extent that such other provisions are inconsistent with said Progress Payment Schedule.

8. Final Payment. Final payment, constituting the entire unpaid balance of the Contract Price, shall be made by Owner when: (a) the Contract has been fully performed by Contractor, except for Contractor's responsibility to satisfy requirements which necessarily survive final payment, (b) a Notice of Completion for the project has been recorded by Owner, and (c) thirty-five (35) days have elapsed since the date of recordation of the Notice of Completion.

9. Miscellaneous Provisions.

(a) Workers' Compensation Certificate. In accordance with Sections 1860 and 1861 of the California Labor Code, the Contractor shall, prior to beginning work under the Contract, sign and file with Owner the following certificate:

"I am aware of the provisions of Section 3700 of the Labor Code which requires every employer to be insured against liability for workers' compensation, or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract."

(b) Liquidated Damages. The parties hereto agree that in case all of the work required to be performed by this

Contract is not completed before or upon the expiration of the time limit specified in the Contract Documents, damage will be sustained by Owner; that it is impracticable to determine the actual damage Owner will sustain by reason of such delay, and it is therefore agreed that the Contractor will pay to the Owner the sum of Two Hundred Dollars (\$200.00) per day for each day between the completion date required by the Contract Documents and the date of final acceptance by the owner, as liquidated damages. It is further agreed by the parties hereto that the stipulated amount of liquidated damages is reasonable, and Contractor agrees to pay the same as herein provided. In case such liquidated damages are not paid, the Contractor agrees that the amount thereof may be deducted by Owner from any moneys due or to become due to Contractor under the Contract, or, if said amount is not sufficient, the Owner may recover from the Contractor the total amount. No liquidated damages shall be assessed for delays due to acts of God, acts of the Owner, criminal acts, fire, flood, storm, strikes, lockouts, or other causes beyond Contractor's control. The provisions of this subparagraph (b) shall supersede and replace the provisions of Paragraph 63 of the General Conditions relating to liquidated damages.

(c) Labor Law Requirements. In the performance of this Contract the Contractor shall strictly comply with all labor laws and regulations of the State of California, as well as with all applicable labor laws and regulations of the Federal government.

(d) Amendments. No amendment of this contract, or of any provision contained in any of the Contract Documents, shall be effective for any purpose unless the same is expressed in writing and is signed by both Owner and Contractor.

(e) Duties of Architect Delegated. It is understood and agreed by the parties hereto that all duties of the Architect set forth in the General Conditions, or elsewhere in the Contract Documents, are delegated to the Building Official of the City of Soledad, and that wherever in the Contract Documents there is a reference to the Architect, it shall be deemed to refer to the Building Official.

(f) Binding Effect. All of the terms, provisions and conditions contained in the Contract Documents shall be binding upon, and shall inure to the benefit of the heirs, legal representatives, successors and assigns of the respective parties hereto.

IN WITNESS WHEREOF, the said parties have executed

this Contract as of the 15th day of December, 1989.

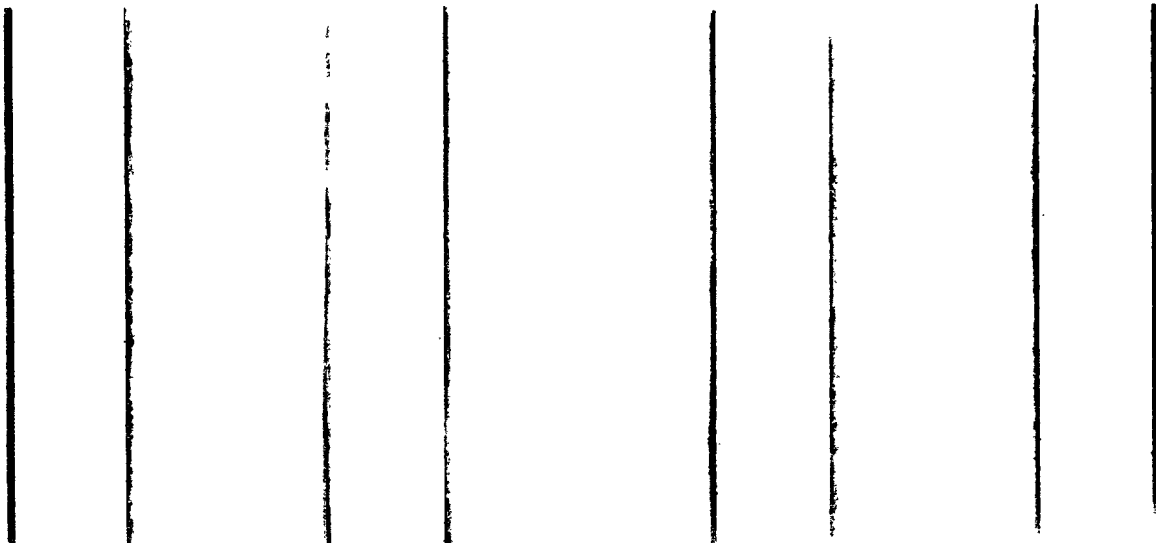
OWNER:

CITY OF SOLEDAD, a municipal corporation,

By Richard City
Mayor

CONTRACTOR:

Manuel Lopez
Manuel Lopez



Del Mar Construction Co
 P.O. Box 2425
 Carmel, California 93921

November 8, 1989

Jorge Rifa
 City Manager
 City of Soledad
 Post Office Box 156
 Soledad, California 93960

RE: CONSTRUCTION PROPOSAL FOR THE SOLEDAD POLICE STATION/
 RENOVATION OF THE JUSTICE COURT FOR A NEW CITY HALL

Dear Mr. Rifa:

We are pleased to submit herewith for your consideration a construction proposal for the above referenced project.

Our proposal is based on amended contract documents and per the following qualifications;

- I Per contract documents -General Conditions section-, as dated April 6, 1989, and as amended per exhibit "A".
- II Per Addendums No. 1 & 2, as they pertain to drawings only and as amended by exhibit "B."
- III Per contract specifications, as amended by exhibit "C".
- IV Per construction drawings as designed by the architect MacCaffrey & Sons Inc, and as amended by exhibit "D".
- V Per proposal adjustments as referenced in exhibit "E".
- VI Use of existing city facilities during construction;
 The city shall allow the contractor the use of the existing Justice court house to be used as temporary construction field office at no cost. Usage shall include restrooms and utilities.
- VII Construction span shall consist of 210 calendar days.
- VIII Construction proposal includes site storm drainage alternate "A".

IX Proposal exclusions;

This proposal excludes the following items which the city may elect to add for the amounts given;

- A Performance bond, (based on proposal amount)...\$12,266.00
- B Payment Bond, (based on proposal amount).....\$12,266.00
- C Sallyport, (with manually operated gate).....\$18,000.00
- D Builder's Risk insurance (No earthquake).....\$ 7,500.00
 Due to the recent trembler insurance companies
 have declared a moratorium on earthquake
 coverage for an unspecified time period.

The undersigned proposes to construct the Soledad Police Station, per the above referenced qualifications, and to renovate the Soledad Justice court into a new city hall for the amount of; Five hundred and fifty eight thousand seven hundred forty-nine dollars (\$558,749.00).

This proposal is good and valid for a period of thirty days from today's date.

Signed and agreed by

M. Lopez 12 15 89

M. Lopez, Owner, Date

Signed and agreed by

[Signature] 12/15/89

City Official, Date

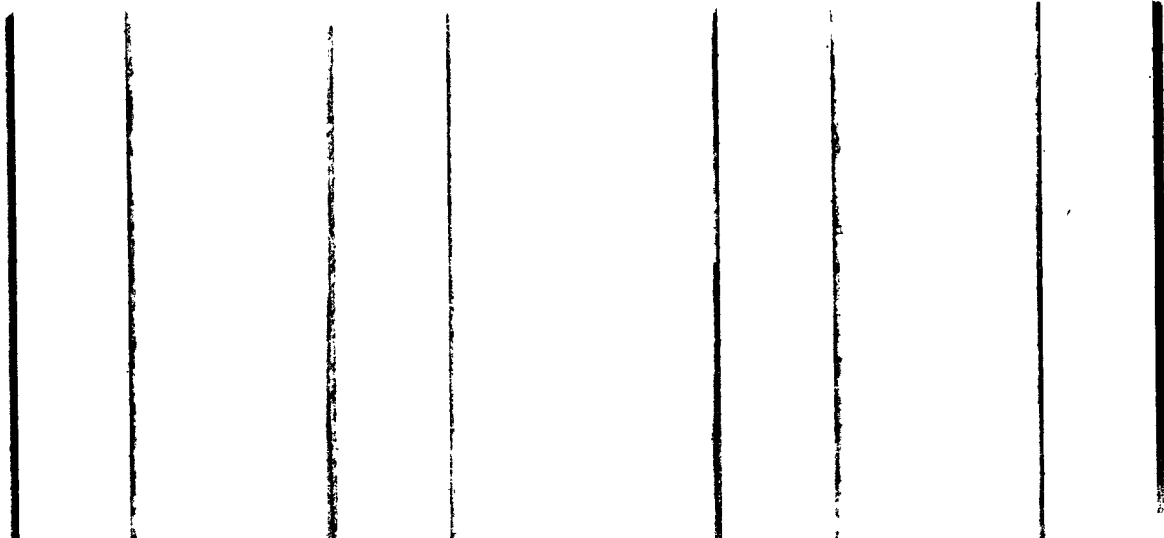


EXHIBIT "A"
GENERAL CONDITIONS AMENDMENTS TO THE CONTRACT

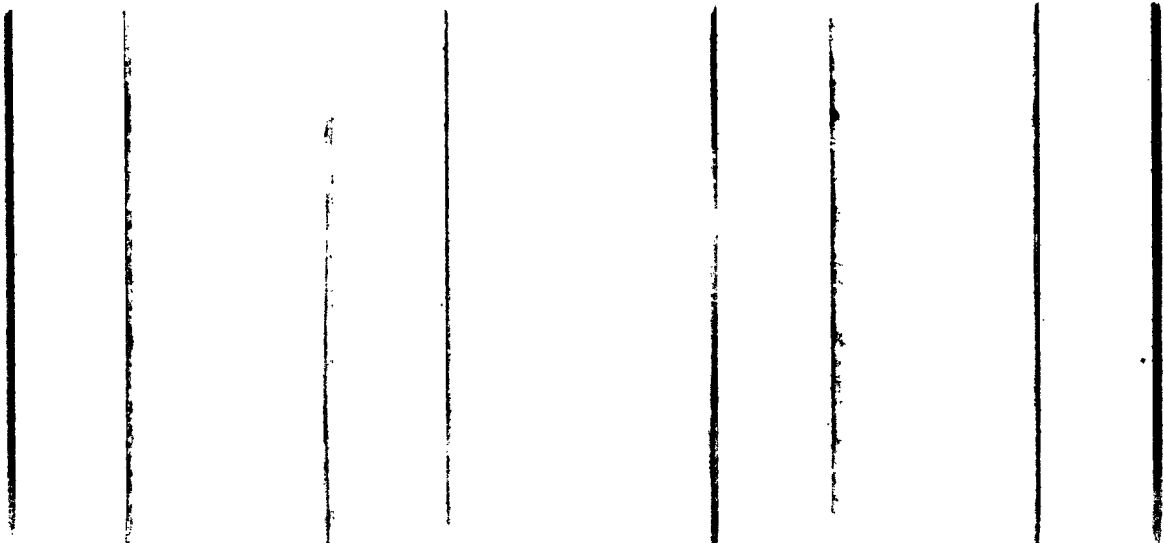
The following modifications to the general conditions are agreed upon and are now part of the contract documents;

Article No/Page No.	Description of Change
Definitions 9, page 2	Replace the word "architect" with the word "City building official".
Shop drawings submittals, 30, page 9	Shop drawings submittal shall be limited to the following specification sections; Wood Trusses- Section 06100 Glu-Lam beams- Section 06180 Roofing tiles- Section 07320 Metal doors/frames- Section 08100 Wood doors/frames- Section 08200 Metal windows- Section 08500 Door hardware- Section 08700 Architectural finishes Sections; * Ceramic tile- Section 09300 * Acoustical treatment- Section 09500 * Resilient flooring- Section 09650 * Carpet- Section 09682 * Painting- Section 09900 Plumbing fixtures- Section 01500 Furnaces- Sections 15600 Cooling system- Section 15800 Ductwork/Accessories- Section 15840 Electrical systems- Section 16010
Insurance, 34-C & D page 11	Delete the requirement for an "Umbrella excess liability for the general liability and automobile insurance". The contractor shall provide insurance on a separate basis. Delete builders risk and Earthquake insurance requirement. See proposal for exclusions and add-ons.
Partial payments 72, page, 33	Delete the following sections on Partial payments; A. General, B. Lump Sum Price Breakdown, D. and Estimate. Replace this sections with the following section; Partial payments shall be based on

progress work completed, as approved by the city building official, and shall be based on the following performance schedule;

PROGRESS PAYMENT SCHEDULE ON WORK COMPLETED

Phase	Description of work	Percentage
I	<u>Phase I Foundation</u> All underground utilities Concrete slab poured Foundation bolts Forms removed Rough utilities under slab	
	Progress payment due	20%
II	<u>Site Work</u> Grading Paving/fog seal Striping & signage Exterior lighting	
	Progress payment due	10%
III	<u>Framing</u> All lumber components framed Stucco wrap installed Exterior door & windows Roof & Gutter Rough Plumbing Rough Electrical Rough HVAC	
	Progress payment due	35%
IV	<u>Insulation</u>	
	Progress payment due	5%
V	<u>Interior/Exterior Covering</u> Sheetrock tape & texture Interior doors Cabinetry Suspended ceiling "T" bar Stucco	



Progress payment due 20%

VI Final

- Carpeting
- Vinyl flooring
- Painting
- Base board/molding
- Door stops
- Ceiling panels
- Finish electrical, HVAC & plumbing

Progress payment due 10%

Total 100%

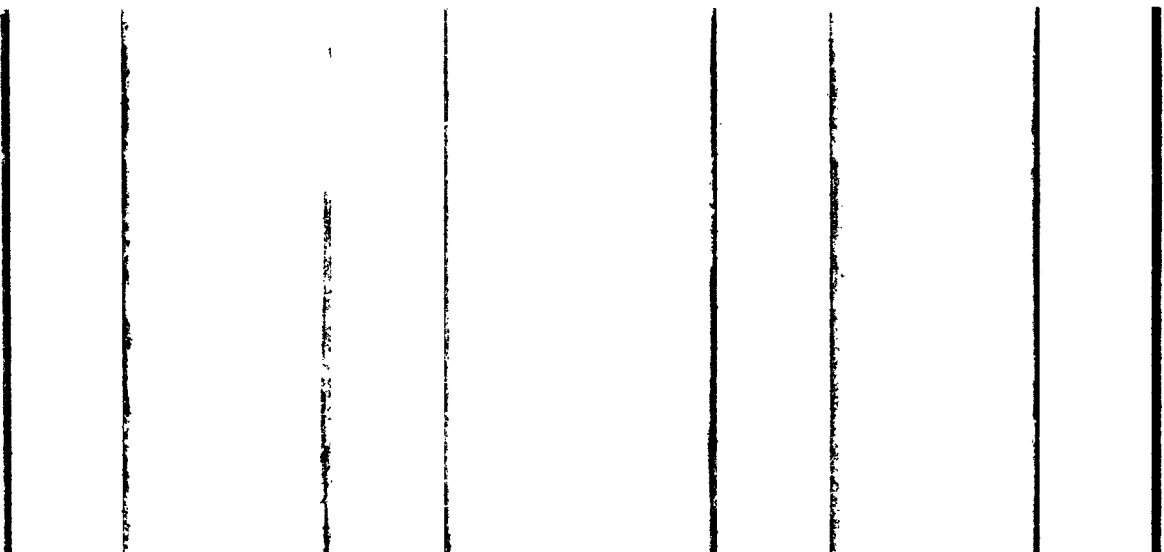


EXHIBIT "B"
AMENDMENTS TO ADDENDUMS 1 AND 2

The following modifications to Addendums 1 and 2 are agreed upon and are now part of the contract documents;

Amendments to addendum No. 1;

Item No.	Description of Change
1.	Drawing A-1, item a is superseded by new council chambers design as per drawing A-11.
2.	Drawing A-5, items c and d relating to lighting are superseded by the revised electrical/lighting plans per exhibit "D".
3.	Drawing S-1, item b, is deleted.
4.	Delete addendum modifications to drawings E-1, E-2, and E-3. Refer to exhibit "D" for revised drawings.

Amendments to Addendum No. 2;

Item No.	Description of Change
1.	Delete item a of sheet A-5, specifications section 03300 page 1 of 2 relating to a hired inspector to oversee concrete lab testing.
2.	Delete item a of sheet A-1 relating to roof access ladder.

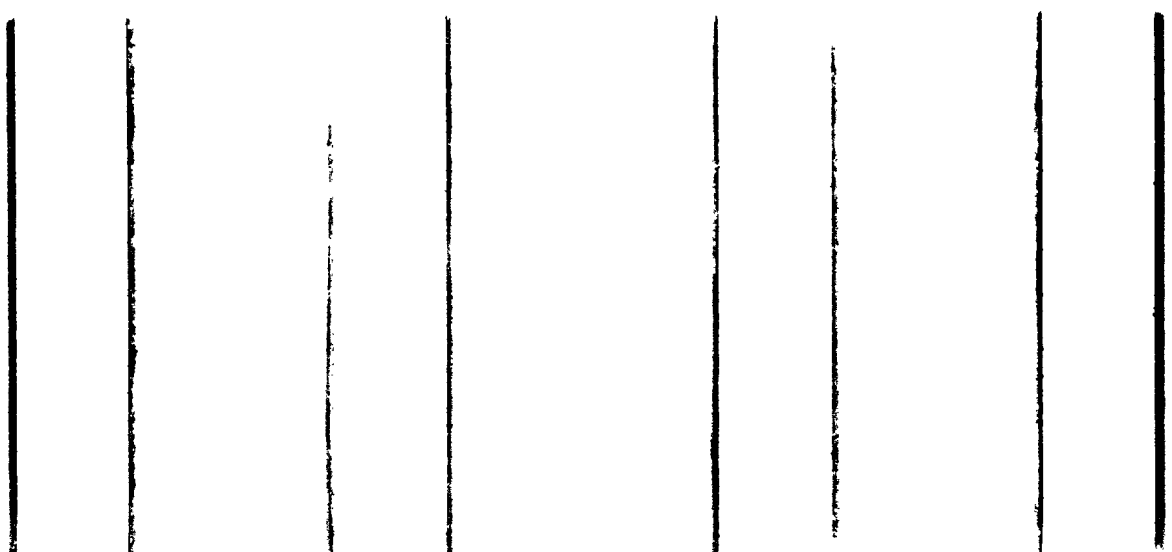
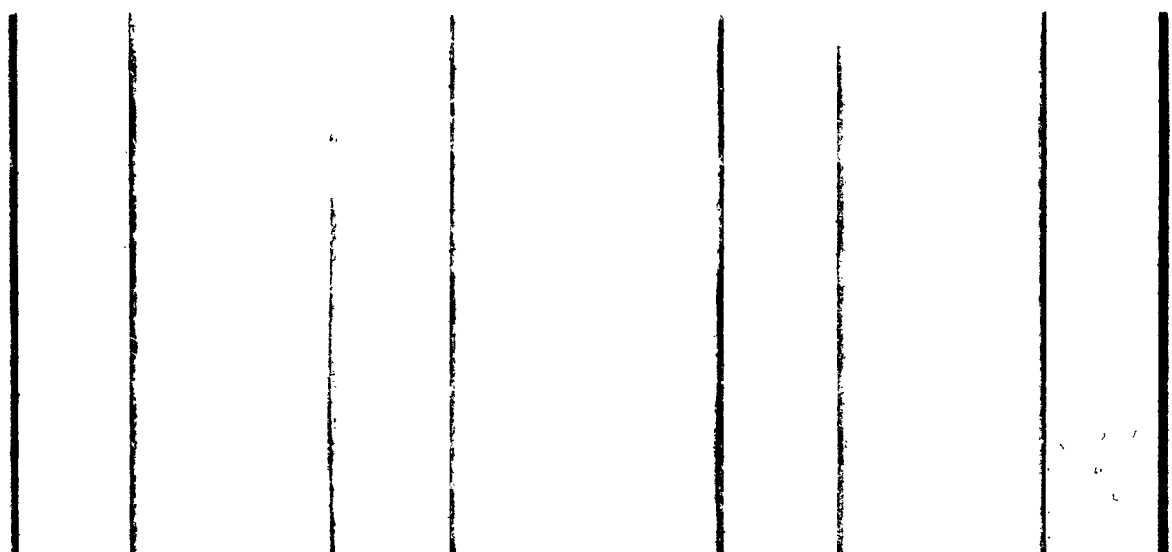


EXHIBIT "C"
AMENDMENTS TO CONTRACT SPECIFICATIONS

The following modifications, deletions and substitutions are agreed upon and are now part of the contract documents, for purpose of clarity only those sections affected by modifications are hereby listed. All other sections not affected by modifications and amendments in this proposal are accepted;

Section	Description of Change
03100	Delete requirement to use douglas fir plywood, PS-1 for concrete formwork and replace with construction grade materials.
03200	Delete test certificate requirement.
03300	Delete testing of materials and replace with mix records from concrete company.
03370	Delete this section entirely.
06100	Replace common nails with sinkers.
06400	Countertops and cabinetry work shall be all plastic laminate at exposed sides and shall be per WIC standards as reference by exhibit samples.
07200	Replace foil-faced on type "A" and "B" insulation and replace with kraft paper facing.
07600	Delete shop drawing submittals requirement.
08350	Delete this section entirely.
08500	Change Quality assurance to read as follows; Quality assurance: Provide nail on type sliding windows as manufactured by Monterey Bay window, or an approved substitution.
08700	Change door hardware as follows; All locksets shall be Ultralock -heavy duty entry lock Schllage compatible, with dull chrome 26d finish. Handicapped lockset shall be as per PDQ "lever handle cylindrical lock/SX series/free trim/10B finish/ UL approved (1 each). Panic device shall be as manufacture by American shield.



Delete mortise lockset at doors 31 & 32 and replace with standard lockset.

Add a deadbolt to door No. 24 & 25.
Hinges/butts shall be as manufactured by Hager model RC 1279, finish US 10A.

Kick plates shall be made of impact plastic.

- 09500 New acoustical ceiling grid and panels shall match existing ceiling in color, texture and type .
- 09650 Resilient flooring (vinyl tile) shall be as manufactured by Armstrong/Classic corlon series.
- 09682 Carpeting materials shall be 21 ounce, 100% amoco XXV olefin tufted loop pile glue down carpeting "Philadelphia series cambridge 21 50964" as manufactured by Shaw industries, Inc.
- 09900 Painting shall be per 2 coats system using "Kelly moore" paint or approved equal.
- 10300 Toilet accessories shall metallic with white finish.
- 10522 Delete this section entirely.
- 11450 Delete this section entirely.
- 15000 All Plumbing fixtures shall be "American standard or an approved equal".

Deleted cast iron for sewer/drain piping and replace with ABS piping.

Toilets shall be floor mount tank type 3-1/2 gallon.

Faucets shall be as manufacture by "Delta" or an approved equal.

Replace 140,000 BTU 141 gallons high recovery water heater with a 100 gallon 71,000 BTU

All drain fixture shall be as manufactured by "Zern" or as per and approved equal.

All lavies faucets shall be double handle type.

Floor drains at rooms 220 & 221 shall be standard 3" diameter drains set with 3" (inches) screws.

15600 &
15800 Furnace/Cooling units shall be as manufactured by
"Rudd Co".

Furnace/Cooling unit isolators shall be of rubber
bushing type as per sample exhibit.

15840 Ductwork shall be UL approved round type.

Duct/AC unit isolators shall be rigid type.

Exhaust fans shall be as manufacture by "Chelsie">

Rain gutter shall be as per sample exhibit.

16010 Delete section entirely. The new section will be
included in the new design for the electrical portion
as shown on revised electrical drawings.

EXHIBIT "D"
AMENDMENTS TO CONSTRUCTION DRAWINGS

The following modifications, deletions and substitutions have been agreed upon and are now part of the contract documents; Drawings not affected by the amendments are accepted as per original design and are therefore not listed below.

Drawing Number	Rev. Dwg. Number	Description of Change
A-1,	A-11	Floor plan changes due to modifications to placement of presidium in council chambers.
A-5		Delete portion of drawing relating to all lighting fixtures. New electrical drawings will show revised lighting plan.
PM-1	same	Delete HVAC roof mounting and outdoor duct flex connections and replace with solid rubber mount and rigid connections.
E-1,		Delete entire drawing and replace with new design per revision 1.
E-2		Same as E-1 above.
E-3		Same as E-1 above

EXHIBIT "E"
AMENDMENTS TO PROPOSAL

Subject: PROPOSAL ADJUSTMENTS PER CITY COUNCIL'S REQUEST

RE: CONSTRUCTION PROPOSAL FOR THE SOLEDAD POLICE STATION/
RENOVATION OF THE JUSTICE COURT FOR A NEW CITY HALL

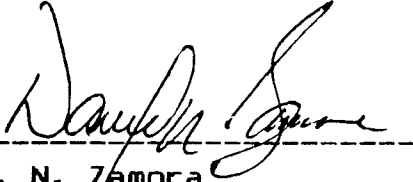
Dear Mr. Rifa:

We are pleased to submit herewith for your consideration the costing for construction items as requested. The following list is a compilation of those items and is based on our two previous meetings.

Item #	Description	Comments
1	Delete Access ladder to roof	
2	Delete foil facing @ insulation	
3	Deleted Accordion door (door # 34)	
4	Delete carpeting and vinyl flooring at selected rooms 202, 205, 209, 211, 213, 216, 217 & 219	
5	DELETED ITEM	
6	Change toilet accessories from specified to standard metal -prepainted white-	
7	Delete fire extinguishers & installation	
8	Delete refrigerator	
9	Delete replacement of door at Council chambers and re-stain existing (door # 1)	
10	DELETED ITEM	
11	Modifications at Council chambers to relocate presidium which includes storage closet demo & rebuilt to fit new configuration as well as electrical and other carpentry changes.	
12	Modifications to the Evidence room to secure room. changes includes the addition of door lock, wall framing around cabinets and installation of plywood at walls and ceiling between sheetrock and studs.	

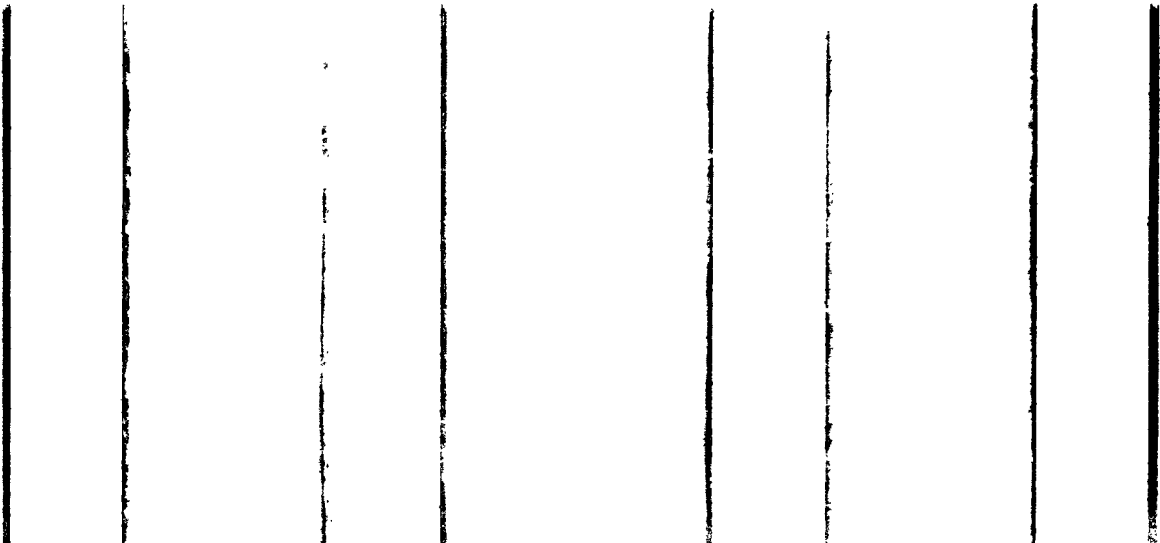
13 Modify interview/waiting rooms by adding 1/2" cdx plywood to all walls behind sheetrock panels.

The above proposal adjustments amount to a total of (\$ 4,566.00) deducts have been included in our final proposal amount in page 2.



D. N. Zamora
Estimator

cc: M. Lopez
File





McCaffrey & Sons, Inc.
architecture planning general construction

January 4, 1989

ADDENDUM NO. 1

Contract for the addition to the Soledad City Hall, Soledad, CA.

1. Specifications: Contract, Page 1, third paragraph, revise to read that drawings consist of, "25 sheets," instead of, "26 sheets."
2. Add the following information to paragraph 30, page 8, of the General Conditions:

SECTION/PARAGRAPH

02050	Submittals	a. Permits & Notices authorizing building demolition. b. Certificates of severance of utility services. c. Permits to transport & dispose of debris. d. Demolition procedure
02200	Last Para	Written instructions for approval for relocating utilities by the owner.
02440	2	Shop drawings, catalog cuts, templates and erection and installation details.
02440	2	Fence component samples.
02513	Submittals	Material list submittals.
02580	Submittals	Submittals on manufacturer's data.
03200	Shop Drawings	Shop drawings.
03200	Certificates	Test certificates.
03300	Tests	Mix Designs.
05500	Submittals	Item list, manufacturer's data, manufacturer's installation procedures and shop drawings.
06180	Submittals	Shop drawings.
06400	Submittals	Material list, shop drawings and samples.
07320	Submittals	Product data, manufacturer's instructions and colors for selection.
07510	Submittals	Certificates, Installation instructions.
07510	Guarantee	Guarantee.

SECTION/PARAGRAPH

07600	Submittals	Shop drawings, installation procedures and materials list.
07900	Submittals	List of materials, manufacturer's data and installation procedure.
08100	Submittals	Shop drawings.
08200	Submittals	Materials list and manufacturer's specifications.
08400	Submittals	Shop drawings.
08500	Submittals	Shop drawings.
08700	Sample requirements & hardware schedule	Sample list and hardware schedule.
08800	Submittals	Materials list, manufacturer's data and installation procedures.
09200	Submittals	Materials list, manufacturer's data and installation procedures and samples.
09300	Submittals	Materials list and manufacturer's data.
09500	Certificate	Certificates and test reports.
09500	Samples	Samples.
09500	Shop drawings	Shop drawings.
09650	Submittals	List of items, manufacturer's data and installation procedures and samples.
09682	Submittals	Shop drawings, test reports, certificates of compliance, installation instructions, maintenance manuals and samples.
09900	Submittals	Materials list, manufacturer's data and samples.
10160	Shop drawings Certificates	Shop drawings and conformance certificates.
10300	Submittals	Catalog cuts and installation instructions.
10430	Submittals	Product data, layouts and supporting structures.
10500	General	Technical data, drawings, shop drawings and installation instructions.
10522	Submittals	Product data.
12505	Submittals	Shop drawings and samples.
15000	Submittals	Shop drawings.



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architecture planning general construct

Page 3 of 3

SECTION/PARAGRAPH

15000	Tests, Finching & Sterilization	Test reports.
15070	General Requirements	Submittals and standards of compliance.
15250	Submittals	Manufacturer's data.
15500	Areas to be Sprinkled	Sprinkler layouts and samples.
15600	General Requirements	Submittals: Manufacturer's data and maintenance/operation for furnaces.
15800	Submittals	Materials list and catalog data.
15800	Contract Closeout	Warranty and operation/maintenance manuals.
15800	Tests	Copies of test reports.
15840	General Requirements	Submittals: Manufacturer's data.
15840	Field test & Inspections	Report on final balancing and testing of Air System.
16010	Shop drawings	Shop drawings.

***** END OF ADDENDUM NO. 1 *****



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McCaffrey & Sons, Inc
architecture planning general construction

June 21, 1989

ADDENDUM NO. 2

SHEET NO.

- A-6 a. Add note: "Doors D2, D16, D19, D20, D18 and D21 shall have a twenty minute fire label and shall be 1 3/4" thick solid core with thresholds and closures." Install metal frames on these doors in addition to the others indicated to have metal frames.
- A-5 a. Add note. "Install new lighted exit signs over doors D23 and D39."
b. Add note. New la_-in ceilings shall be one hour fire rated in the corridors where doors (listed in previous paragraph A-6a) are located.
c. Add note: "Air diffusers and registers located within the corridors listed above shall be furnished with fuseable link closures."

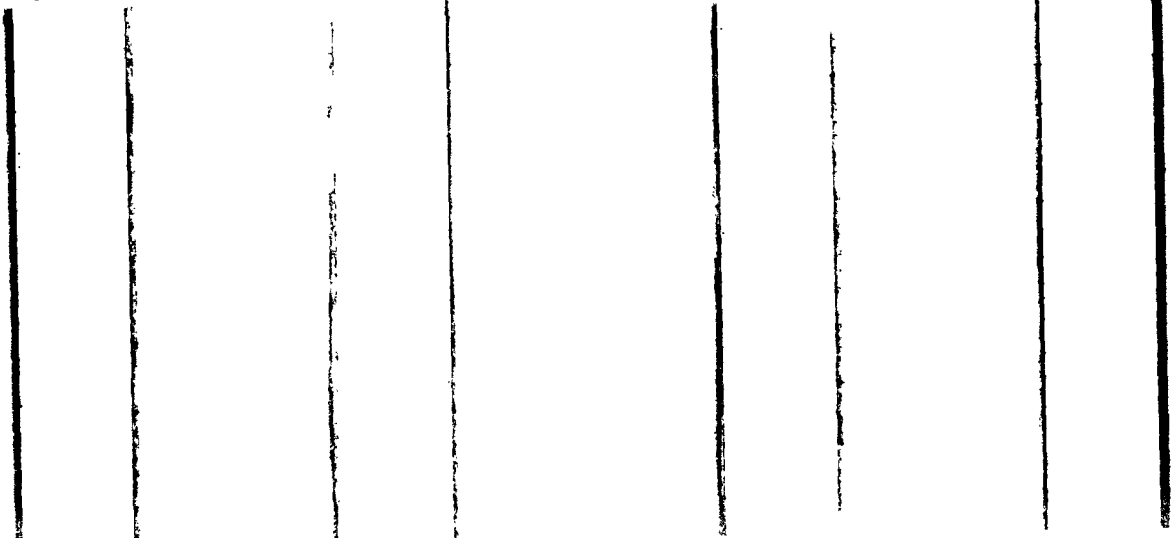
Specifications Section 03300 Page 1 of 2
 a. ~~Add under Quality Assurance. "An inspector (approved by the City of Soledad's Building Department) will be hired by the contractor to oversee the concrete laboratory testing (laboratory to be approved by Soledad's Building Department.)"~~
Dec 1989
no ment

Specifications Section 15000 Page 14 of 28
 a. Add to para.b(1): Hot & cold water piping above grade & inside the building shall be copper tube type "L" hard drawn with wrought copper solder joint fittings. *OK*

S-1 a. Add note: "All information on trusses and glue laminated timbers to be used will be approved by the Soledad Building Department." *CIC*

A-1 a. ~~See Sketch No.1 and 1A for guidance on type of new roof access ladder and modification of existing ladder work that will be required.~~
Doors
4/19/89

A-8, A-9 & A-10 a. See Sketch No.2 for toilet accessories mounting heights.

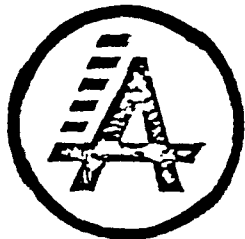


MANUFACTURER

Manufactures two types of aluminum wall ladders ... fixed, including folding ladders, and folding. All ladders exceed the requirements of OSHA/ANSI Standards and sets of detail drawings are available upon request. Design consultation regarding specific projects is available if desired.

FEATURES

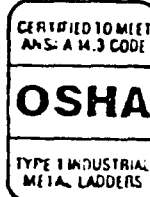
Includes tracing guides showing the most common applications for both fixed and folding wall ladders. Also shows dimensions, technical descriptions, and guide specifications.



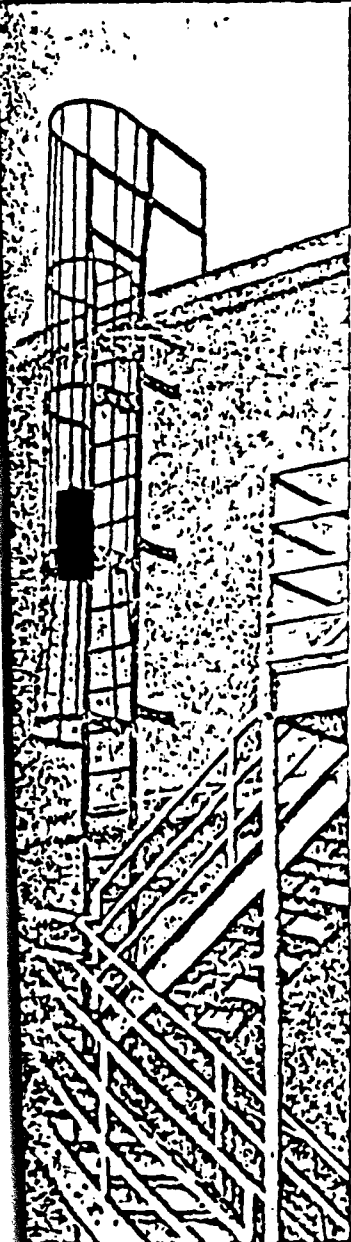
ALACO



ALUMINUM LADDERS

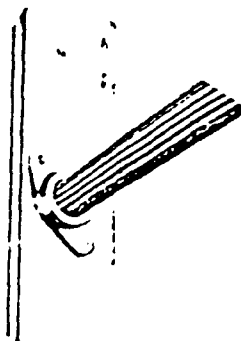
05515/ALA
BuyLine 5004

Aluminum Wall Ladders • ALACO Series 560



PP—PRODUCT PRESENTATION

- 1 Conform to OSHA/ANSI A14.3 Standards for fixed wall ladders. Follow the scale drawing tracing guides, inside, to assure conformance of installation to code.
- 2 All Aluminum construction for maintenance free service. No painting ever necessary.
- 3 High strength 6061-T6 aluminum alloy for extra safety, long life.
- 4 All parts sized and shaped to fit users hands and feet for a more comfortable, more secure grip. Safer.
- 5 1 1/2" round serrated rungs have cast aluminum rung connectors secured with 4 solid rivets each for a combined shear strength of over 3600 lbs, each rung. Permanent no-twist installation. No swaged joints, no large holes in structure. Safe indefinitely.
- 6 Mounting brackets are 1/2" thick aluminum sheet pre-punched to provide 16" on centers mounting holes. Brackets are provided every 6'.
- 7 Custom made to fit each job, using standard parts for lowest possible cost.



UA—USES APPLICATIONS

For permanent roof access on outside walls up over parapet or roof edge. On inside walls provides access through roof hatch, safely, securely, and comfortably. Can be anodized or mill finish for attractive rust-free installations ... even in marine environments.

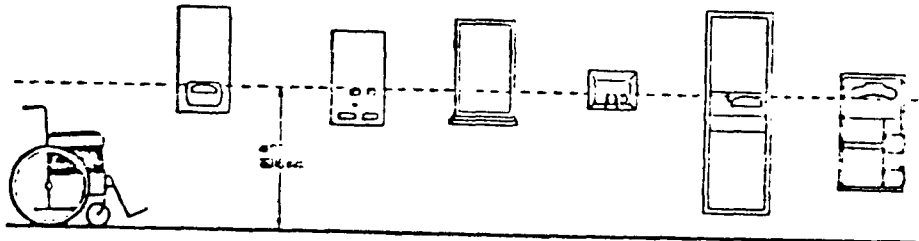
Also suitable for chimneys, towers, vats, antennae, tanks, water treatment plants, refineries, and other industrial applications.

SKETCH

GUIDELINES FOR THE PHYSICALLY HANDICAPPED

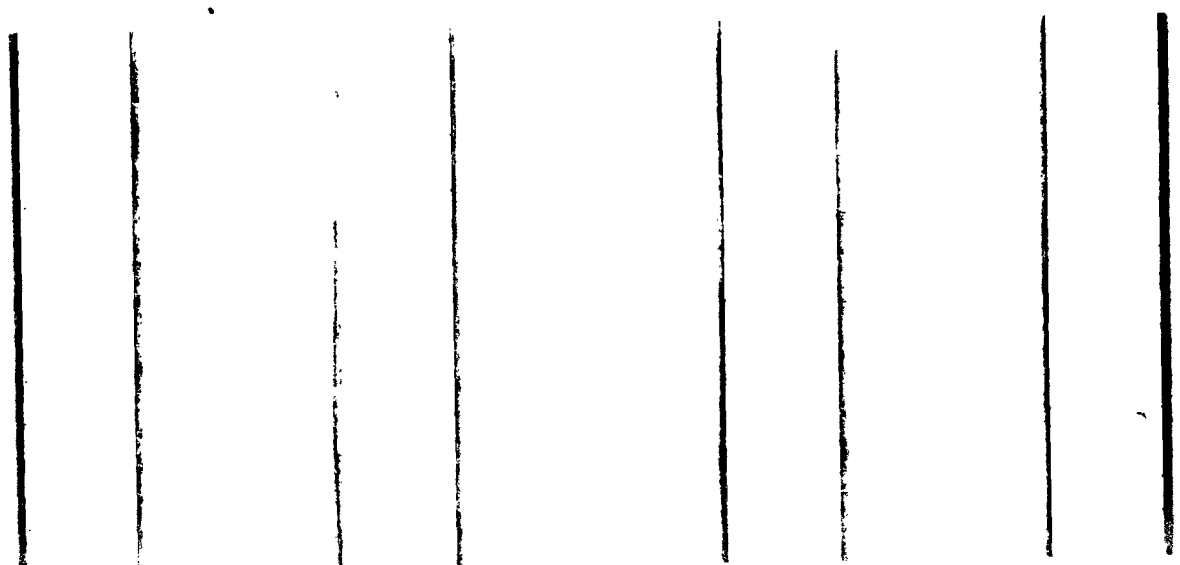
In washroom facilities designed to accommodate the physically handicapped, accessories should be mounted so the operating features meet local building codes. Height requirements may vary with a facility depending on location of individual accessories and direction from which accessories are approached. As a guideline, the operating features should be mounted within 40" (1016mm) of the finished floor. Throughout this catalog a wheelchair symbol is used to

indicate models accessible when mounted at the recommended height. In addition, a wheelchair symbol is used to identify all models specifically designed for easy access by the handicapped.



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SKETCH No 2



Fixed Aluminum Wall Ladders - ALACO Series 56

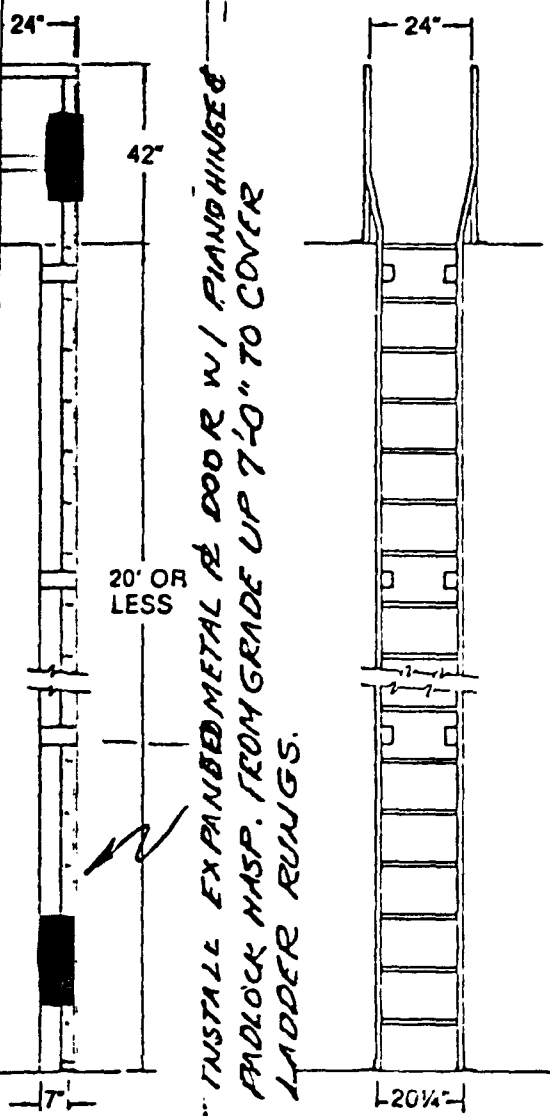
OP-OVERALL PRODUCT, IN PLACE

TRACING GUIDES SCALE 1/4" = 1'

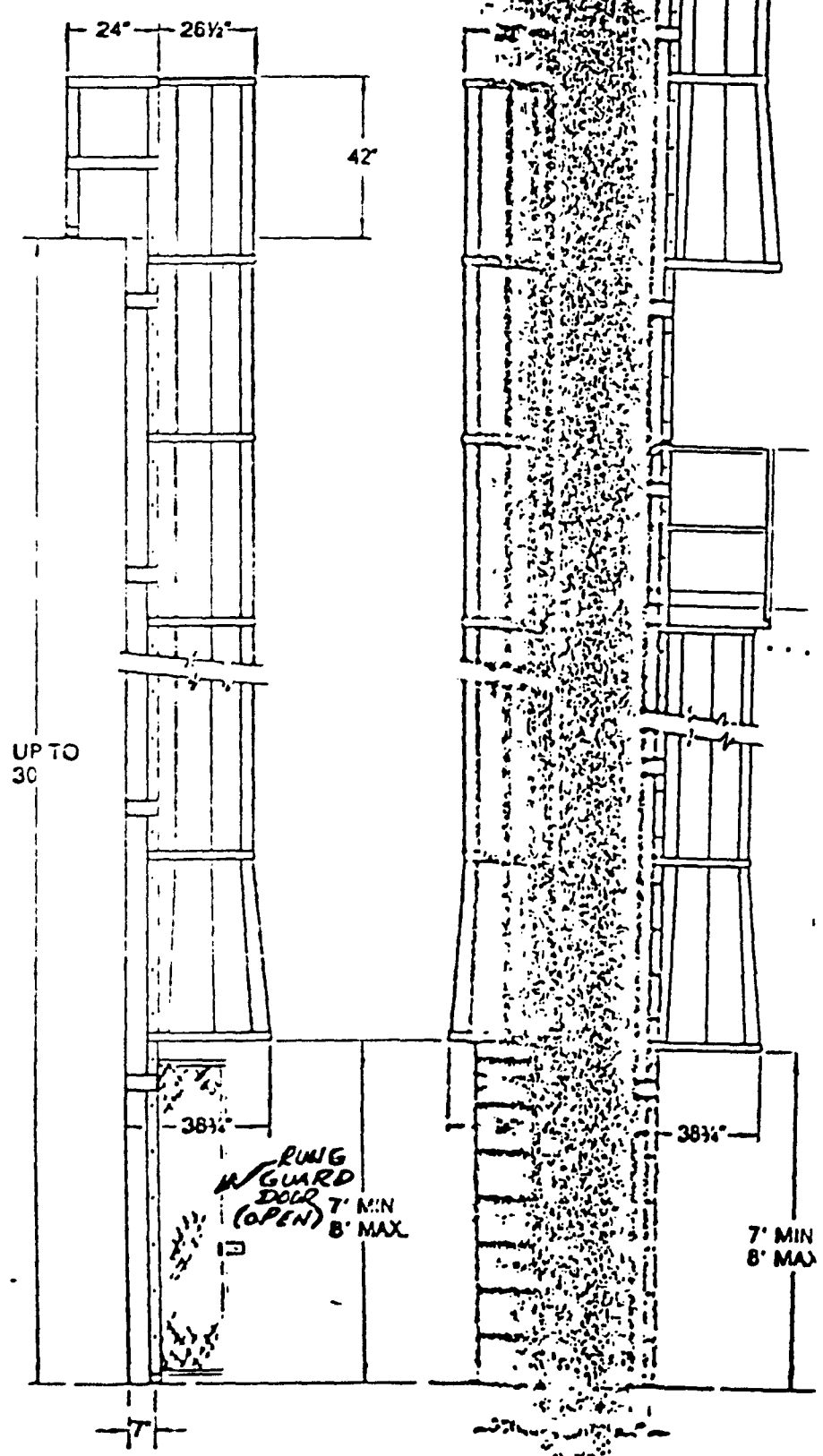
FOR CLIMBING HEIGHTS UP TO 20 FEET (NO CAGE REQUIRED)

Use these scale drawing tracing guides to assure conformance to OSHA/ANSI standards

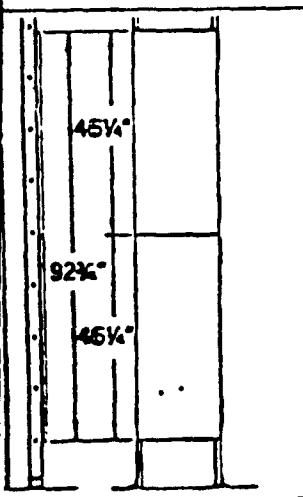
CLIMBING HEIGHTS UP TO 20 FEET (NO CAGE REQUIRED)



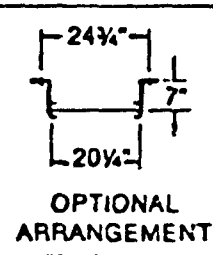
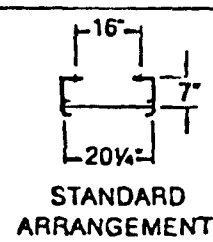
FOR CLIMBING HEIGHTS OVER 20' UP TO 30' (CAGE REQUIRED)



SECURITY DOORS H-300



MOUNTING BRACKETS



CLIMBING HEIGHTS UP TO 20 FEET

